

HISTORIC AND DESIGN REVIEW COMMISSION

December 15, 2021

HDRC CASE NO: 2021-630
COMMON NAME: San Pedro Creek between W Houston & W Commerce
ZONING: UZROW, RIO-7, H
CITY COUNCIL DIST.: 1
DISTRICT: Main/Military Plaza Historic District
APPLICANT: Steve Tillotson/Munoz and Company
OWNER: Kerry Averyt/San Antonio River Authority
TYPE OF WORK: San Pedro Creek, new construction, park improvements
APPLICATION RECEIVED: November 29, 2021
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved design element of San Pedro Creek regarding the formerly approved Alameda Plaza, an outdoor theater, and the remains of the St. James AME Church. The original design was approved by the Historic and Design Review Commission in December 2017.

Within this request, the applicant has proposed incorporate the remains of the St. James AME Church into the design of San Pedro Creek, install interpretive elements for the St. James AME Church, Klemke/Menger Soapworks, Alamo Ice and Alamo Ice & Brewery, and other cultural and historic elements, as appropriate.

APPLICABLE CITATIONS:

Sec. 35-640. - Public Property and Rights-of-Way.

(a) Public Property. Generally, the historic and design review commission will consider applications for actions affecting the exterior of public properties except in the case of building interiors that are the sites of major public assemblies or public lobbies. The historic and design review commission will also consider applications for actions affecting public properties such as city parks, open spaces, plazas, parking lots, signs and appurtenances.

(b) Public Rights-of-Way. Generally, the historic and design review commission will consider applications for actions affecting public rights-of-way whose construction or reconstruction exceeds in quality of design or materials standards of the design manual of the public works department.

(Ord. No. 98697 § 6)

Sec. 35-641. - Design Considerations for Historic and Design Review Commission Recommendations.

In reviewing an application, the historic and design review commission shall be aware of the importance of attempting to find a way to meet the current needs of the City of San Antonio, lessee or licensee of public property. The historic and design review commission shall also recognize the importance of recommending approval of plans that will be reasonable to implement. The best urban design standards possible can and should be employed with public property including buildings and facilities, parks and open spaces, and the public right-of-way. Design and construction on public property should employ such standards because the use of public monies for design and construction is a public trust. Public commitment to quality design should encourage better design by the private sector. Finally, using such design standards for public property improves the identity and the quality of life of the surrounding neighborhoods.

Sec. 35-642. - New Construction of Buildings and Facilities.

In considering whether to recommend approval or disapproval of a certificate, the historic and design review commission shall be guided by the following design considerations. These are not intended to restrict imagination, innovation or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will enhance the city and its neighborhoods. Good and original design solutions that meet the individual requirements of a specific site or neighborhood are encouraged and welcomed.

(a) Site and Setting.

(1) Building sites should be planned to take into consideration existing natural climatic and topographical features. The intrusive leveling of the site should be avoided. Climatic factors such as sun, wind, and temperature should become an integral part of the design to encourage design of site-specific facilities which reinforces the individual identity of a

neighborhood and promotes energy efficient facilities.

(2) Special consideration should be given to maintain existing urban design characteristics, such as setbacks, building heights, streetscapes, pedestrian movement, and traffic flow. Building placement should enhance or create focal points and views. Continuity of scale and orientation shall be emphasized.

(3) Accessibility from streets should be designed to accommodate safe pedestrian movement as well as vehicular traffic. Where possible, parking areas should be screened from view from the public right-of-way by attractive fences, berms, plantings or other means.

(4) Historically significant aspects of the site shall be identified and if possible incorporated into the site design. Historic relationships between buildings, such as plazas or open spaces, boulevards or axial relationships should be maintained.

(b) Building Design.

(1) Buildings for the public should maintain the highest quality standards of design integrity. They should elicit a pride of ownership for all citizens. Public buildings should reflect the unique and diverse character of San Antonio and should be responsive to the time and place in which they were constructed.

(2) Buildings shall be in scale with their adjoining surroundings and shall be in harmonious conformance to the identifying quality and characteristics of the neighborhood. They shall be compatible in design, style and materials. Reproductions of styles and designs from a different time period are not encouraged, consistent with the secretary of the interior's standards. Major horizontal and vertical elements in adjoining sites should be respected.

(3) Materials shall be suitable to the type of building and design in which they are used. They shall be durable and easily maintained. Materials and designs at pedestrian level shall be at human scale, that is they shall be designed to be understood and appreciated by someone on foot. Materials should be selected that respect the historic character of the surrounding area in texture, size and color.

(4) Building components such as doors, windows, overhangs, awnings, roof shapes and decorative elements shall all be designed to contribute to the proportions and scale of their surrounding context. Established mass/void relationships shall be maintained. Patterns and rhythms in the streetscape shall be continued.

(5) Colors shall be harmonious with the surrounding environment, but should not be dull. Choice of color should reflect the local and regional character. Nearby historic colors shall be respected.

(6) Mechanical equipment or other utility hardware should be screened from public view with materials compatible with the building design. Where possible, rooftop mechanical equipment should be screened, even from above. Where feasible, overhead utilities should also be underground or attractively screened. Exterior lighting shall be an integral part of the design. Interior lighting shall be controlled so that the spillover lighting onto public walkways is not annoying to pedestrians.

(7) Signs which are out of keeping with the character of the environment in question should not be used. Excessive size and inappropriate placement on buildings results in visual clutter. Signs should be designed to relate harmoniously to exterior building materials and colors. Signs should express a simple clear message with wording kept to a minimum.

(8) Auxiliary design. The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designed with the overall environment in mind and should be in visual keeping with related buildings, structures and places.

(c) Multiple Facades. In making recommendations affecting new buildings or structures which will have more than one

(1) important facade, such as those which will face two (2) streets or a street and the San Antonio River, the historic and design review commission shall consider the above visual compatibility standards with respect to each important facade.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to amend a previously approved design element of San Pedro Creek regarding the formerly approved Alameda Plaza, an outdoor theater, and the remains of the St. James AME Church. The original design was approved by the Historic and Design Review Commission in December 2017. Within this request, the applicant has proposed incorporate the remains of the St. James AME Church into the design of San Pedro Creek, install interpretive elements for the St. James AME Church, Klemke/Menger Soapworks, Alamo Ice and Alamo Ice & Brewery, and other cultural and historic elements, as appropriate.
- b. **ST. JAMES AME CHURCH** – The applicant has proposed to incorporate various remaining elements of the historic St. James AME Church to the design of San Pedro Creek. Elements that are to be included are the remnants of the east wall, the northeast corner stone, the south wall, lower foundation sections, the west wall through reconstruction, and portions of the north wall. Within the footprint, portions of the Soapworks walls will be retained and a new wood finished floor will be installed. Staff finds the proposed treatment of the remnants to be appropriate.

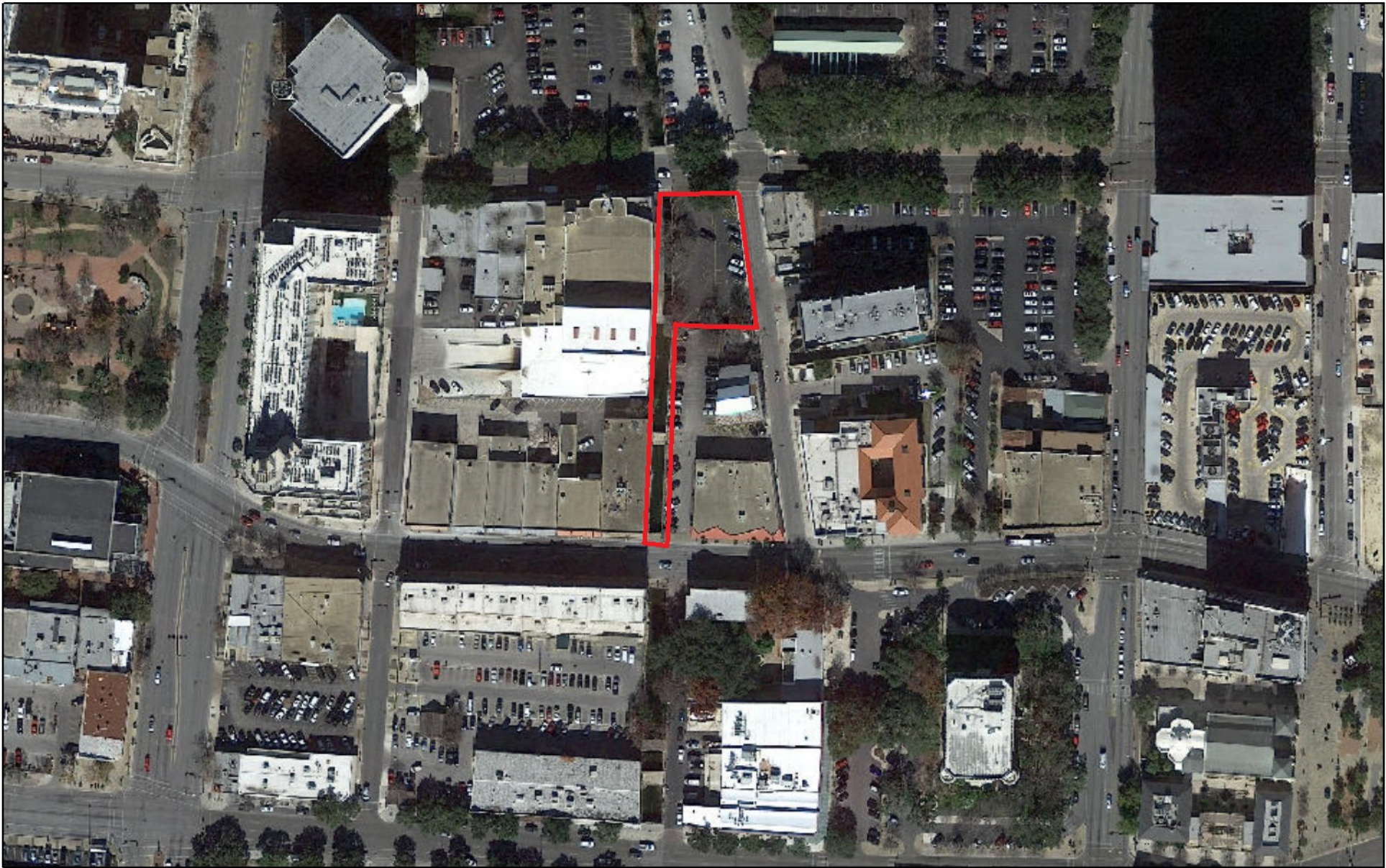
- c. INTERPRETIVE ELEMENTS – The applicant has proposed to include interpretive elements that include the history of the St. James AME Church, Klemke/Menger Soapworks and Alamo Ice and Alamo Ice & Brewery. Interpretive elements specifically will include the names of church members from 1872 to 1878 and African American cultural and historical themes.
- d. ARCHAEOLOGY – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

RECOMMENDATION:

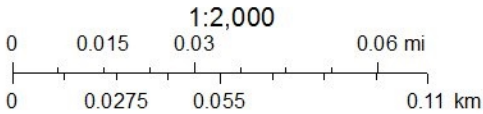
Staff recommends approval based on findings a through d with the following stipulations:

- i. That the applicant submit the final design and placement of all interpretive items to OHP staff for review and approval.
- ii. That any additional construction, such as pavilions or shade structures be submitted to the HDRC for review and approval.
- iii. Archaeology – The project shall comply with all federal, state, and local laws, rules, and regulations regarding archaeology, as applicable.

City of San Antonio One Stop



December 9, 2021



PROJECT DESCRIPTION

SPCCP Phase 1.2 is the continuing portion section of the San Pedro Creek from Houston Street through downtown to the vicinity of Nueva Street. Preliminary Design of this segment was submitted and reviewed by HDRC ARC December 2017 with Final design approval in March 2019 and construction completion scheduled for mid-year 2021. However, the project has been delayed due to the discovery and archeological investigation of historic stone walls in what had been designed as Alameda Plaza: a mid-level plaza and performance venue. That design will be substantially revised to preserve the historic elements and adjust remaining non-historic areas.

The stone masonry walls are remnants of a complex that began as a modest building utilized as the Klemke and later Menger Soapworks (1846-1872), and subsequently occupied and enlarged by the St. James A.M.E. Church (1873-1878). The single-story building was then expanded and enlarged as a three-story ice manufacturing and brewery until being demolished c.1890. The area been used as a parking lot since the 1920's. The site, defined as the area along the east bank of San Pedro Creek bounded by Camaron and Houston Streets and the Artes Graficas historic property, is a registered State archeological site and considered eligible for listing on the National Register of Historic Places. The Texas Historical Commission and USACE Cultural Resources Division have recognized the Klemke and Menger Soapworks and the St. James A.M.E. Church as the primary periods of significance.

The design intent is to expose the walls to public view and access. As there is insufficient detail of record to support either Reconstruction or Restoration, the design approach is that of Preservation as a ruin. To resolve conflicts between the flood engineering, public access and historic features, portions of the walls will be removed and for the most part reconstructed. Non-eligible building features will be removed except where their removal would cause damage to eligible walls. Extant masonry will be repaired and repointed. New construction of walkways, landscape, and other public necessities and amenities are, or otherwise will be of appropriate design as not to diminish the historic and cultural significance of the site and in conformance with The Secretary of the Interior's Standards for the Treatment of Historic Properties.

DESIGN and TREATMENT DESCRIPTION

- East Wall remains except for removal of infill material at original main entrance door.
- Cornerstone at NE corner to remain *in situ*.
- South wall remains except for additional partial removal of west end for the paseo access. Verify remnants of lower portion of foundation. Design and treatment of exposed west face of south wall and east face of west wall TBD. Historic continuity of wall to be expressed by stone pavers flush with paseo surface between south wall end and west wall at SE building corner.
- West wall to be reconstructed on top of new concrete structure.
- North wall remains except for partial removal of west end for the paseo access. Entirety of existing foundation wall will be removed below the paseo surface for paseo and conveyance. Historic continuity of wall to be expressed by stone pavers flush with paseo surface between north wall end and west wall at NW building corner.
- Soapworks walls within the AME Church perimeter to be removed above the floor assembly and capped with stone pavers set flush with the finish floor.
- New finished floor to be wood decking
- New stone coping to protect top surfaces of walls.
- French drains at inside and outside wall perimeter to provide appropriate drainage and evaporation.

INTERPRETIVE and DESIGN ENHAMCEMENT

- A.M.E. Church history and Occupation
 - Location between the cornerstone and front entrance on Camaron
- Construction history and archaeology of the Klemke/Menger Soapworks, A.M.E. Church, Alamo Ice and Alamo Ice & Brewery.
 - Location next to the south wall in the patio area.
- Stone pavers identifying Klemke/Menger Soapworks wall below new deck level.
- Illumination of the A.M.E. Church walls
- Names of A.M.E. Church members 1872-1878: Approximately 300 members reported.
 - Location and design to be determined.
- African American culture/history themes and other topics as appropriate
 - Possible location at restroom building north and east facades. Other locations to be determined.
- Possible shade structure/shelter within the A.M.E. Church footprint
- Possible shade structure at the plaza area

OVERALL SAN PEDRO CREEK PROJECT DESIGN GOALS

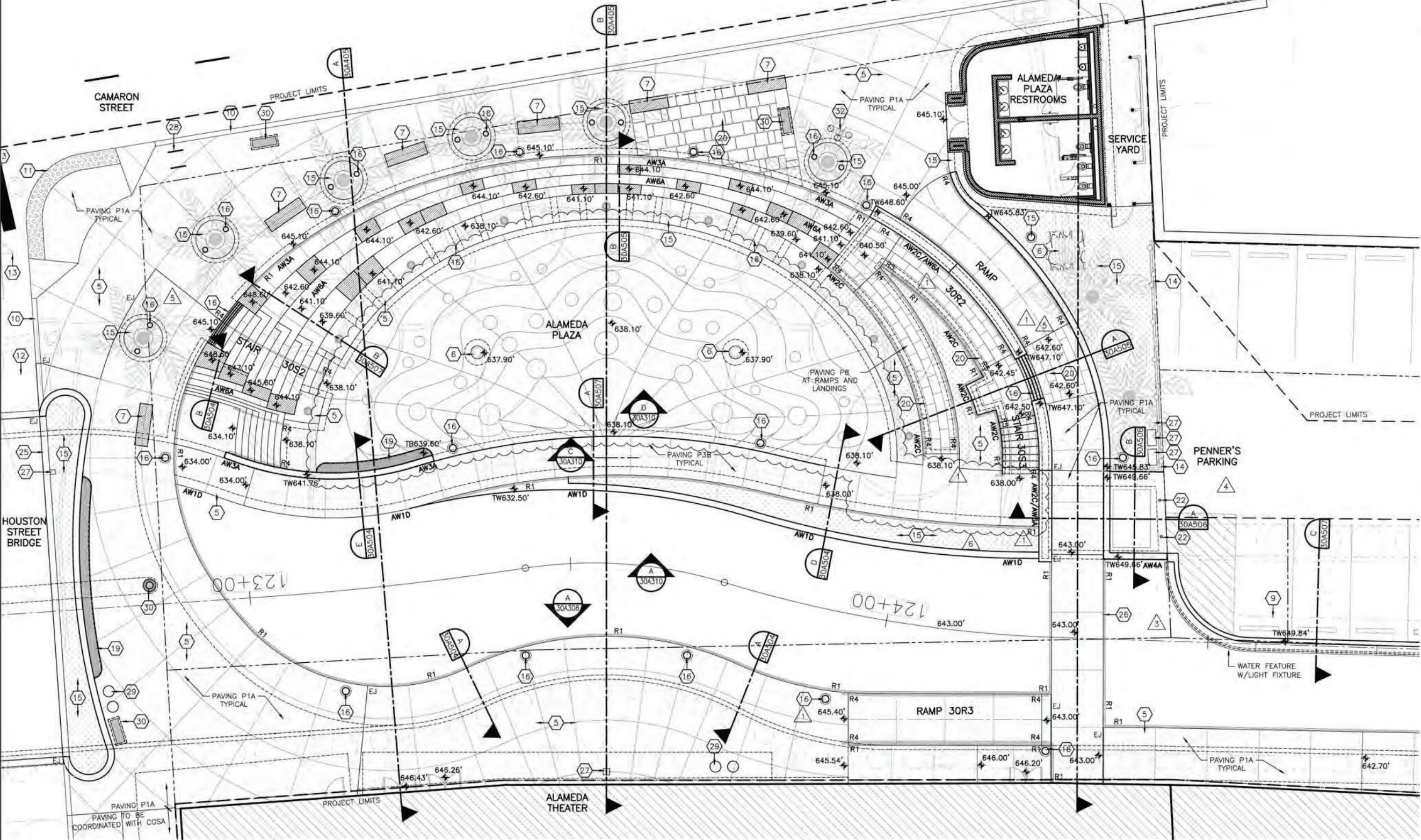
- Establish and intimate scale relationship between people and the creek and provide for the simultaneous movement of water and people that is safe and pleasurable.
- Restore, re-purpose, and reuse the existing channel infrastructure, respecting its historical context and demonstrate sound stewardship of public funds.
- Recreate an aquatic habitat to nourish life and incorporate natures into the urban environment.
- Provide places that support diverse activities, offer pockets of surprise and connect with intersecting streets, paths, and transportation routes.
- Celebrate San Pedro Creek's layered history by telling its various and multivalent stories with authenticity.

SAN PEDRO CREEK CULTURE PARK

ARCHAEOLOGICAL SITE 41BX2359

11.22.2021

PLAZA ALAMEDA IFC PLAN

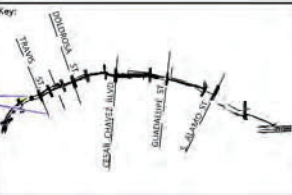


- SITE PLAN GENERAL NOTES**
1. REFER TO SURVEY FOR EXIST. SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE DIMENSIONS & CONDITIONS.
 2. REFER TO CIVIL "X" DRAWINGS FOR SITE DEMOLITION INFORMATION. PROTECT ANY EXISTING BUILDINGS, TREES, SIDEWALKS, BRIDGES, WALLS & OTHER ITEMS THAT ARE TO REMAIN DURING CONSTRUCTION.
 3. MAINTAIN SAFE & UNRESTRICTED FIRE EGRESS ROUTES FROM ALL AREAS OF THE SITE INCLUDING EXISTING BUILDINGS & NEW CONSTRUCTION & COMPLY WITH ALL APPLICABLE CODES.
 4. REFER TO CIVIL DRAWINGS FOR BUILDING, DRIVEWAY & CURB LOCATIONS. FOR GRADING, BUILDING FINISH FLOOR ELEVATIONS, SITE UTILITIES, CHANNEL BOTTOM & WSE.
 5. REFER TO LANDSCAPE DRAWINGS FOR EXISTING & NEW LANDSCAPE INFORMATION.
 6. REFER TO MEP DRAWINGS FOR SITE LIGHTING INFORMATION.
 7. REFER TO SHEETS 00A601 & 00A602 FOR ARCHITECTURAL WALL TYPES.
 8. REFER TO SHEET 00A603 FOR TYP. CONC. WALL ARCHITECTURAL TREATMENT.
 9. REFER TO SHEETS 00A604 FOR ARCHITECTURAL RAILING TYPES. TYP. RAILING TYPE TO BE R1 U.N.O.
 10. REFER TO SHEET 00A605 FOR ARCHITECTURAL CONC. SIDEWALK PAVING FINISHES & PATTERNS. TYP. CONC. PAVING FINISH TO BE P1 U.N.O.
 11. PROVIDE WALK CONTROL JOINTS AND EXPANSION JOINTS AS INDICATED ON PLANS. REFER TO 00A605 FOR TYP./MAX. JOINT SPACING.
 12. TYP. SIDEWALK CROSS SLOPE SHALL BE 1.5% U.N.O. AND 2% MAX.
 13. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL WALL, SLAB INFORMATION AND T.O.W. ELEVATIONS.
 14. REFER TO SHEETS 00WF100-00WF604 FOR WAYFINDING SCHEDULES & GRAPHICS INFORMATION.
 15. REFER TO SHEETS 00A606 FOR TILE FACED CONC. BENCHES, STAIR DETAILS AND OTHER SITE DETAILS.
- KEYNOTE LEGEND**
- 1 EXISTING CHANNEL TO REMAIN
 - 2 EXISTING WALL TO REMAIN
 - 3 EXISTING CONC. WALK TO REMAIN
 - 4 EXISTING CONC. CURB TO REMAIN
 - 5 CONC. WALK, SEE 00A605
 - 6 DRAIN GRATE, RE. CIVIL
 - 7 LIMESTONE BLOCK BENCH
 - 8 CUSTOM METAL DRAIN GRATE
 - 9 WHEEL STOP, RE. CIVIL
 - 10 CONC. CURB, RE. CIVIL
 - 11 FLUSHED CONC. CURB, RE. CIVIL
 - 12 PAVING, RE. CIVIL
 - 13 STRIPING, REF. TO CIVIL
 - 14 GREEN SCREEN AS SPEC'D.
 - 15 PLANTING AREA, RE. LANDSCAPE
 - 16 LIGHT FIXTURE, RE. ELEC. & 2&5/00A606
 - 17 MTL. GRATING, RE. STRUCTURAL
 - 18 WATER FEATURE, RE. 00F SERIES
 - 19 TILE FACED BENCH, SEE A00607
 - 20 STONE PAVING, SALADO CREAM, CHAT SAWN
 - 21 WELDED WIRE FENCE AS SPEC'D.
 - 22 NON-REMOVABLE BOLLARD, RE. CIVIL
 - 23 PATTERN #2 AS SPEC'D.
 - 24 EDGE OF BRIDGE ABOVE
 - 25 BRIDGE CRASH RAIL, RE. STRUCT.
 - 26 BRIDGE STRUCTURE, RE. STRUCT.
 - 27 MEP EQUIPMENT, RE. MEP
 - 28 BIKE RACK, SEE 8/00A606
 - 29 LITTER RECEPTACLE, SEE 9/00A606
 - 30 WAYFINDING, RE. 00WF SERIES
 - 31 LIGHT FIXTURES, RE. ELEC.
 - 32 DRINKING FOUNTAIN, RE. MEP
 - 33 IMPELLER, RE. 1/00L507

ALAMEDA PLAZA PLAN

SCALE: 1/8" = 1'-0"

ISSUE	DATE	DESCRIPTION
0	07/06/2018	ISSUED FOR CONSTRUCTION
6	02/14/2020	ISSUED FOR CONSTRUCTION REVISED



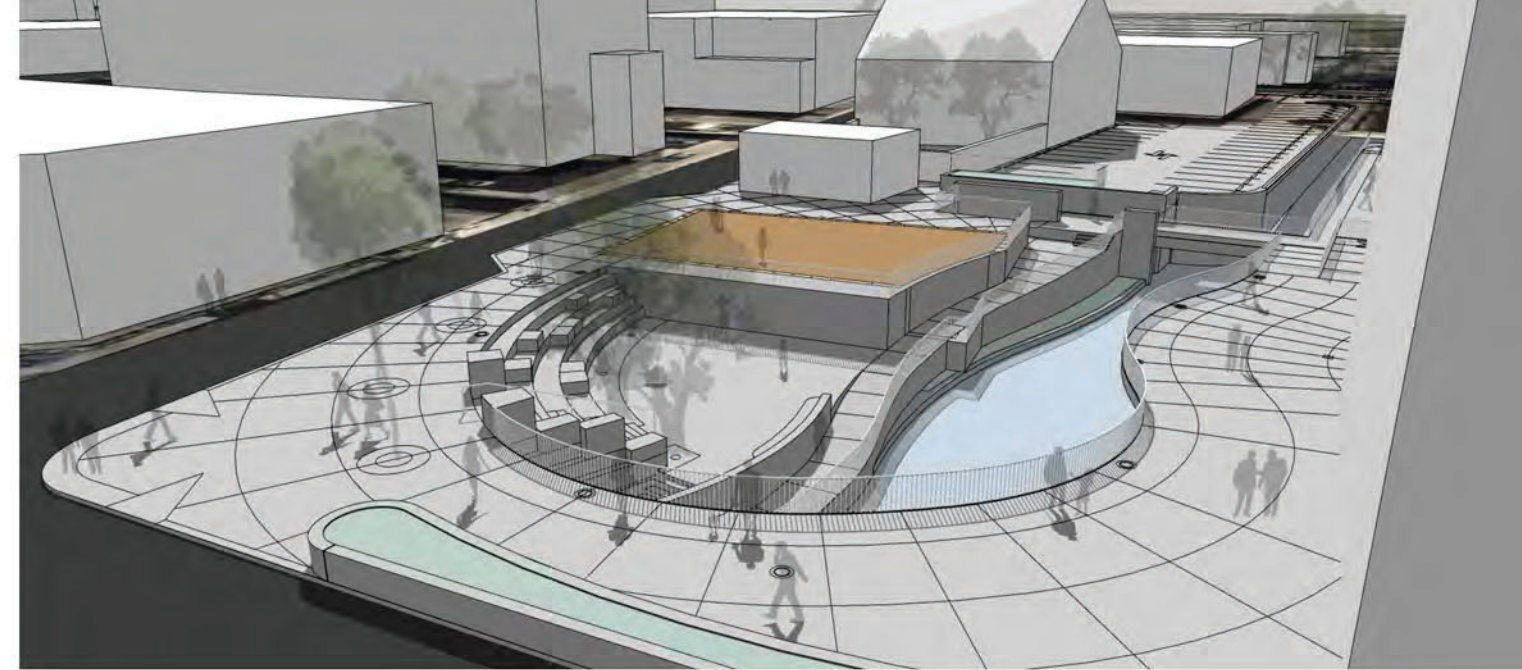
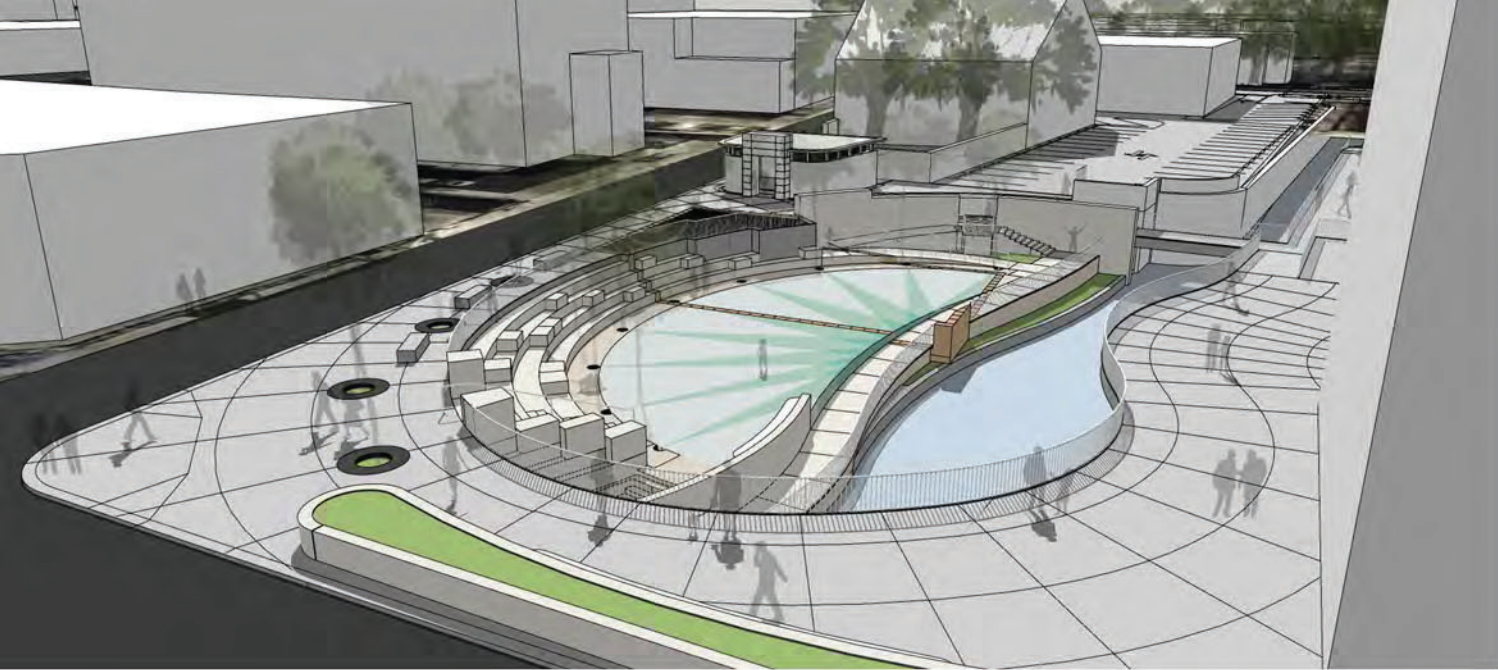
**ALAMEDA/AQUA ANTIGUA
MAIN CHANNEL
ENLARGED PLANS**

SAN PEDRO CREEK IMPROVEMENTS
SAN ANTONIO TEXAS

Project Number:	Drawing No:
Scale:	30A203
Date:	
Reviewed by:	
Drawn by:	

PLAZA ALAMEDA

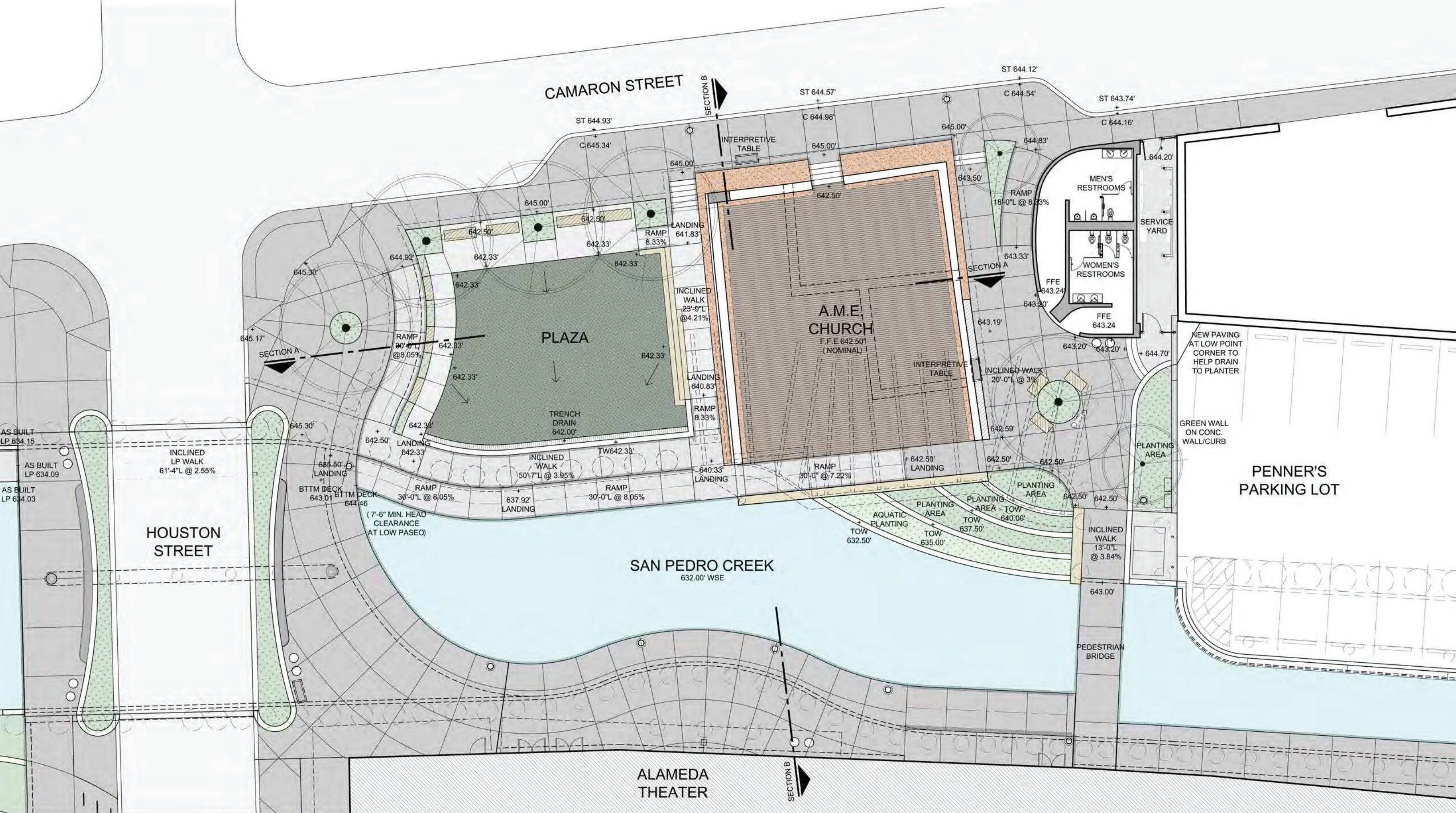




OPTIONS CONSIDERED

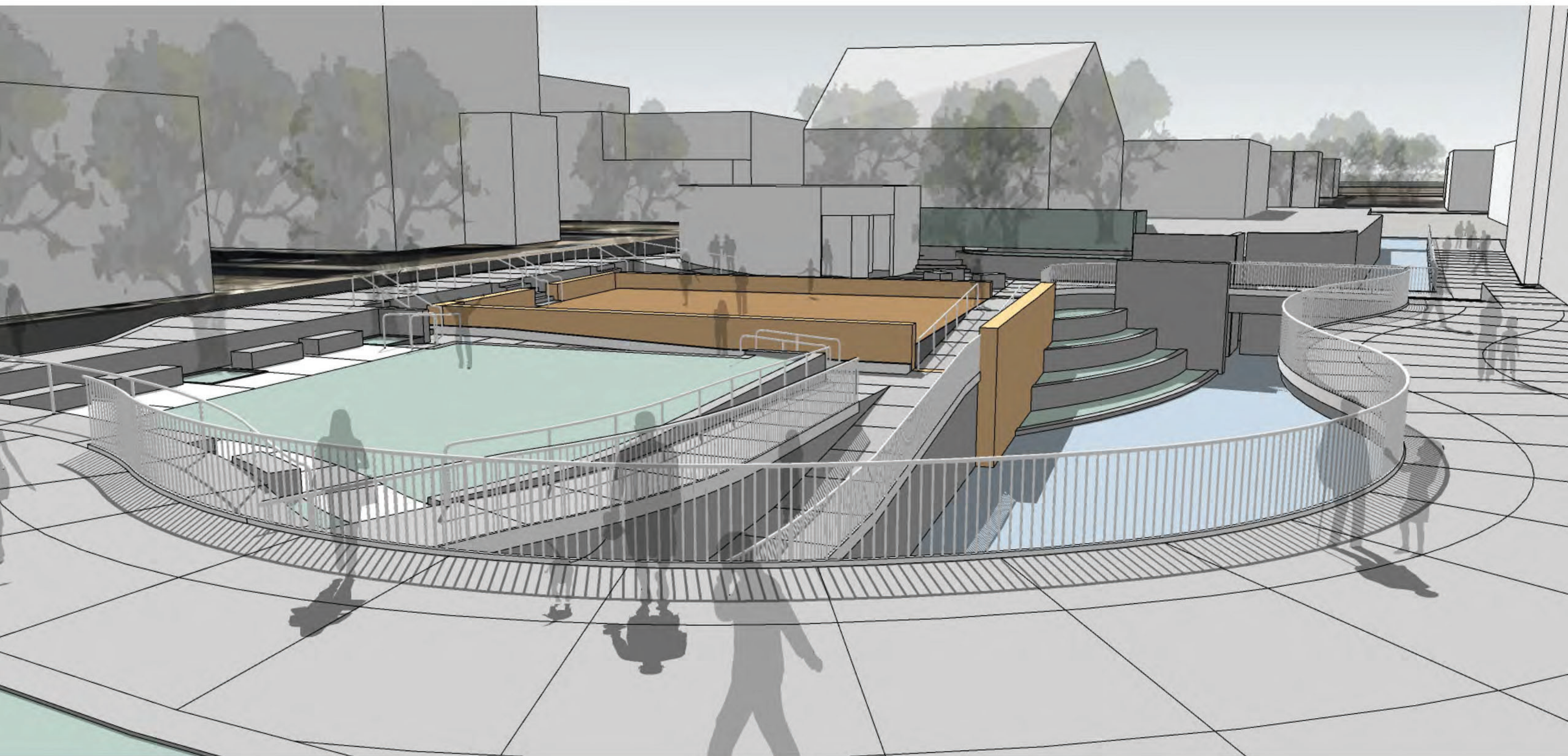


CONSENSUS OPTION



CURRENT DESIGN PLAN

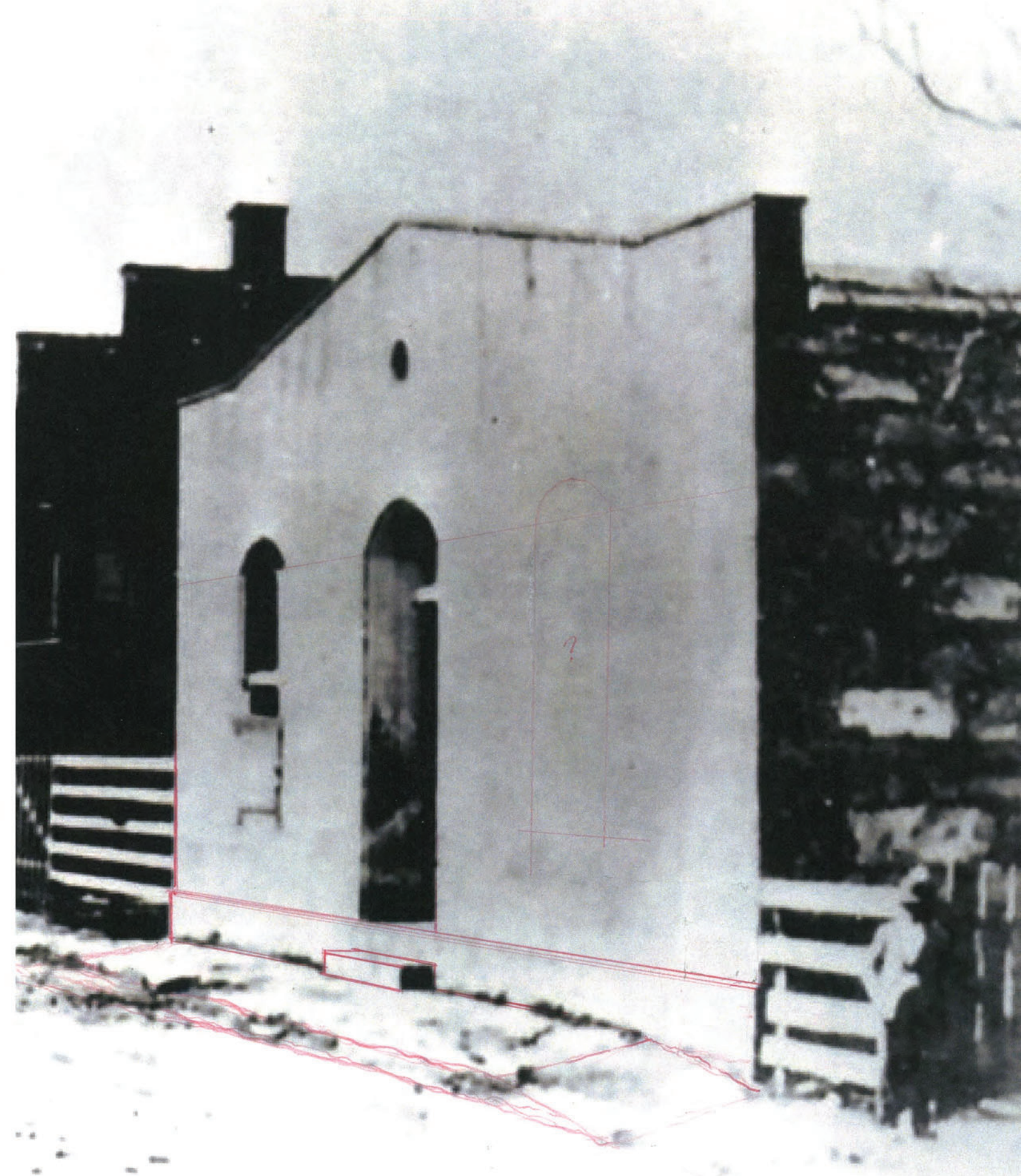




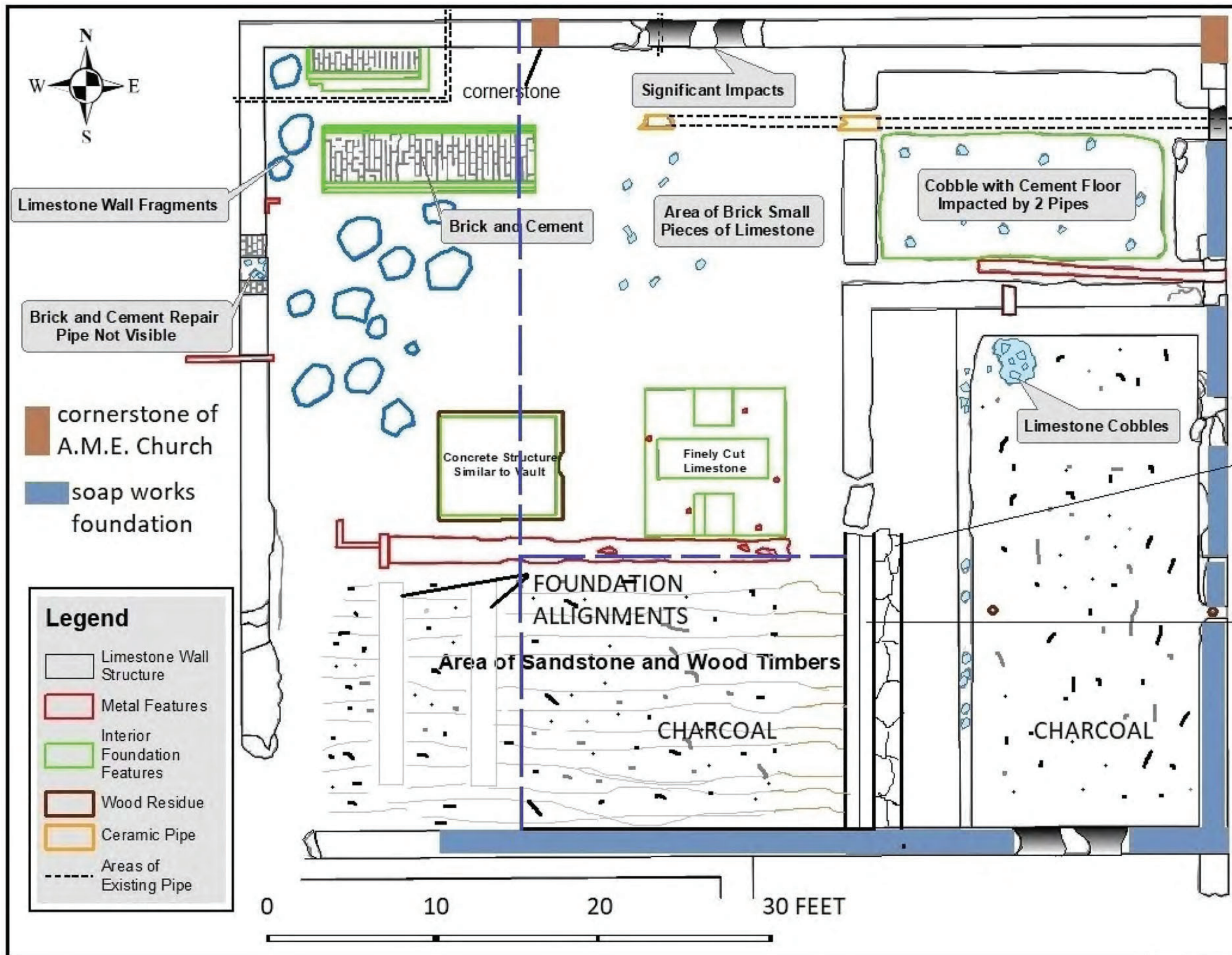
CURRENT DESIGN



HISTORIC PHOTO (ca. 1880-1885)



FACADE ANALYSIS



ARCHAEOLOGICAL PLAN

CORNER STONE



NORTH WALL



EAST WALL



ENTRANCE



CURRENT CONDITIONS

EAST WALL



SOUTH WALL



NORTH WALL



SOUTH WEST CORNER



CURRENT CONDITIONS

WEST WALL



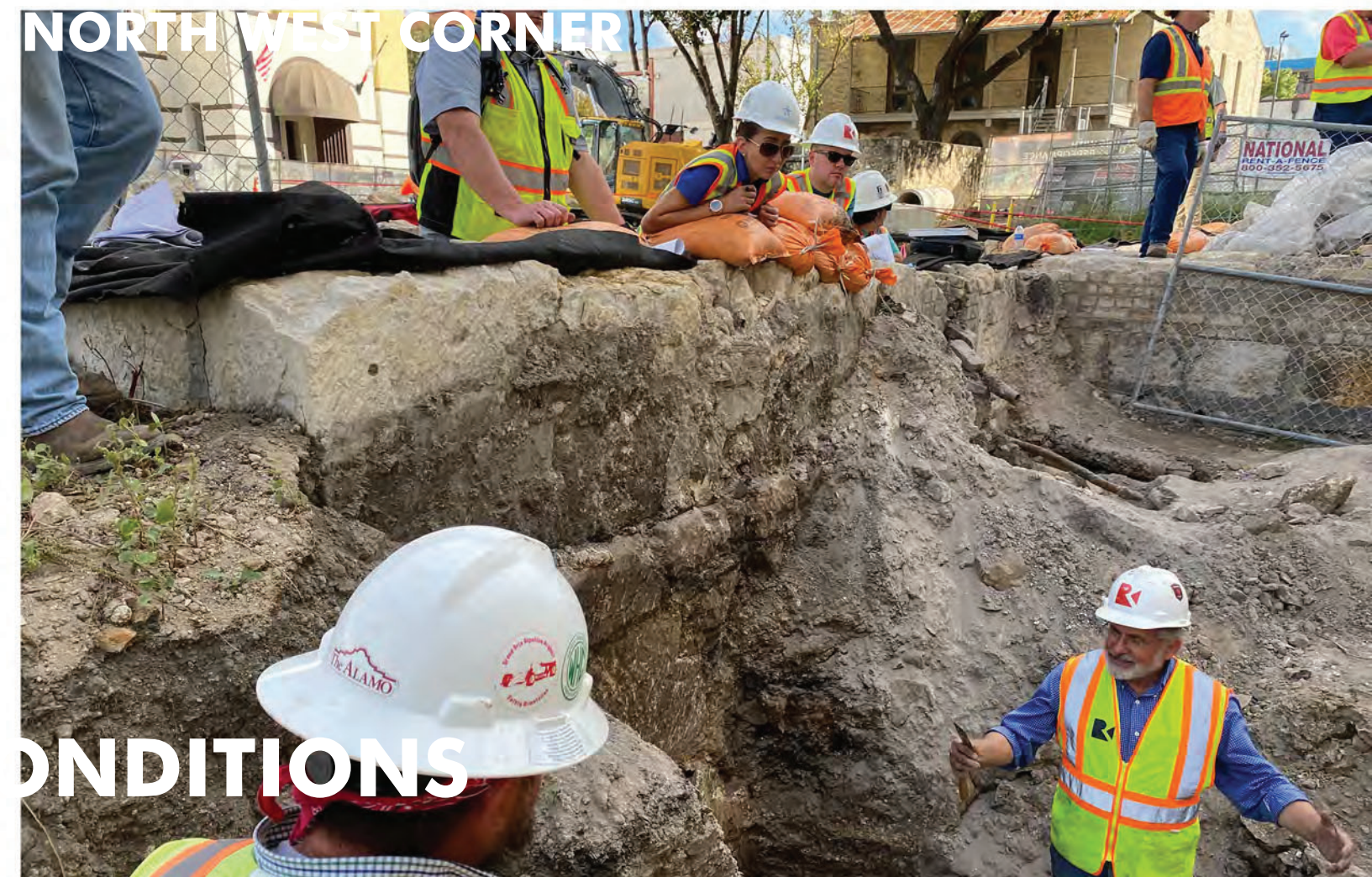
WEST WALL



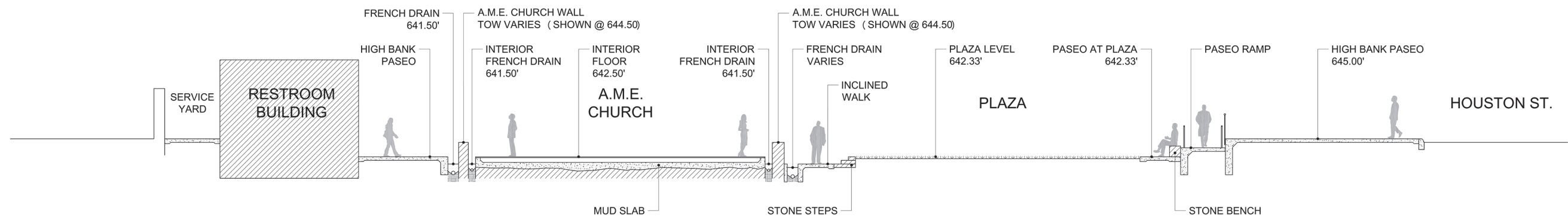
NORTH WEST WALL



NORTH WEST CORNER



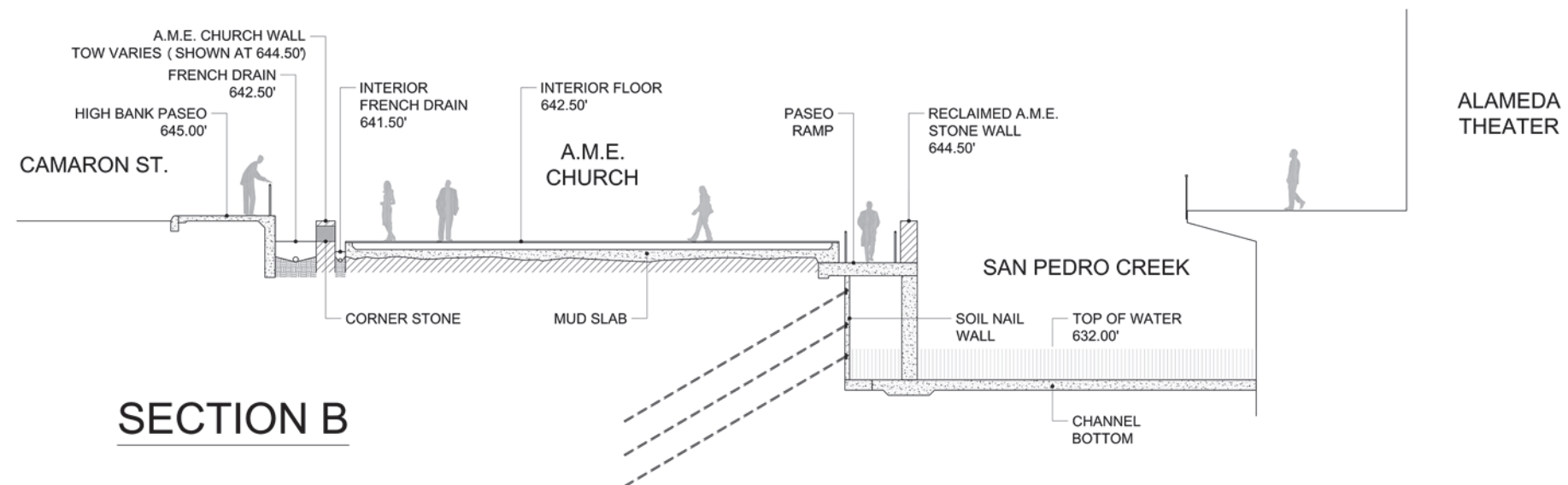
CURRENT CONDITIONS



SECTION A

CURRENT DESIGN SECTIONS





CURRENT DESIGN SECTIONS



Design Philosophy and Preservation Treatment

- The eligible features of the site are the remnants of historic buildings purposefully demolished to below current grade, infilled and covered with an asphalt parking lot.
- The discovery and ongoing uncovering reveals foundations and the lower courses of stone masonry walls.
- Categorical significance of the site has been identified as has intended uses for typical urban park activities.

Design Philosophy and Preservation Treatment

- The lack of full details of the Soap Works and A.M.E. Church buildings as they existing during their periods of significance does not support an accurate Reconstruction approach.
- As there is no intent to create a new building envelope from the historic walls the conditions for Restoration are limited.

The preferred approach is Preservation as a ruin and in conformance with The Secretary of the Interior's Standards for the Treatment of Historic Properties.

- In order to resolve the conflicts between the flood engineering, public access and historic features, portions of the walls will be removed and for the most part reconstructed.
- Non-eligible building features will be removed except where their removal would cause damage to eligible walls.
- Extant masonry will be repaired and repointed.
- New construction of walkways, landscape, and other public necessities and amenities are or otherwise will be of appropriate design as not to diminish the historic and cultural significance of the site.